

# FOR SALE or LEASE

700 Eden Road, Lancaster  
Manhiem Township

Medical / Professional Office  
Total Building ±7,447 SF



## Features

- Freestanding, beautifully maintained medical office space and design with on-site parking
- Building is in excellent condition
- Perfect for conveying a professional, established presence in prestigious Manheim Township
- Great visibility, street exposure and signage along Eden Rd
- Excellent location minutes away from Rt.30, Rt.222 and Rt.283 providing easy access to major thoroughfares
- Zoning allows for a wide variety of uses



320 Granite Run Drive, Suite 305  
Lancaster, PA 17601  
Office: (717) 431-8300  
www.Compass-PA.com

The information contained herein has been given to us by the owner of the property or other sources we deem reliable, we have no reason to doubt its accuracy, but we do not guarantee it. All information should be verified prior to purchase or lease. All financial projections are estimates only. Results not guaranteed.

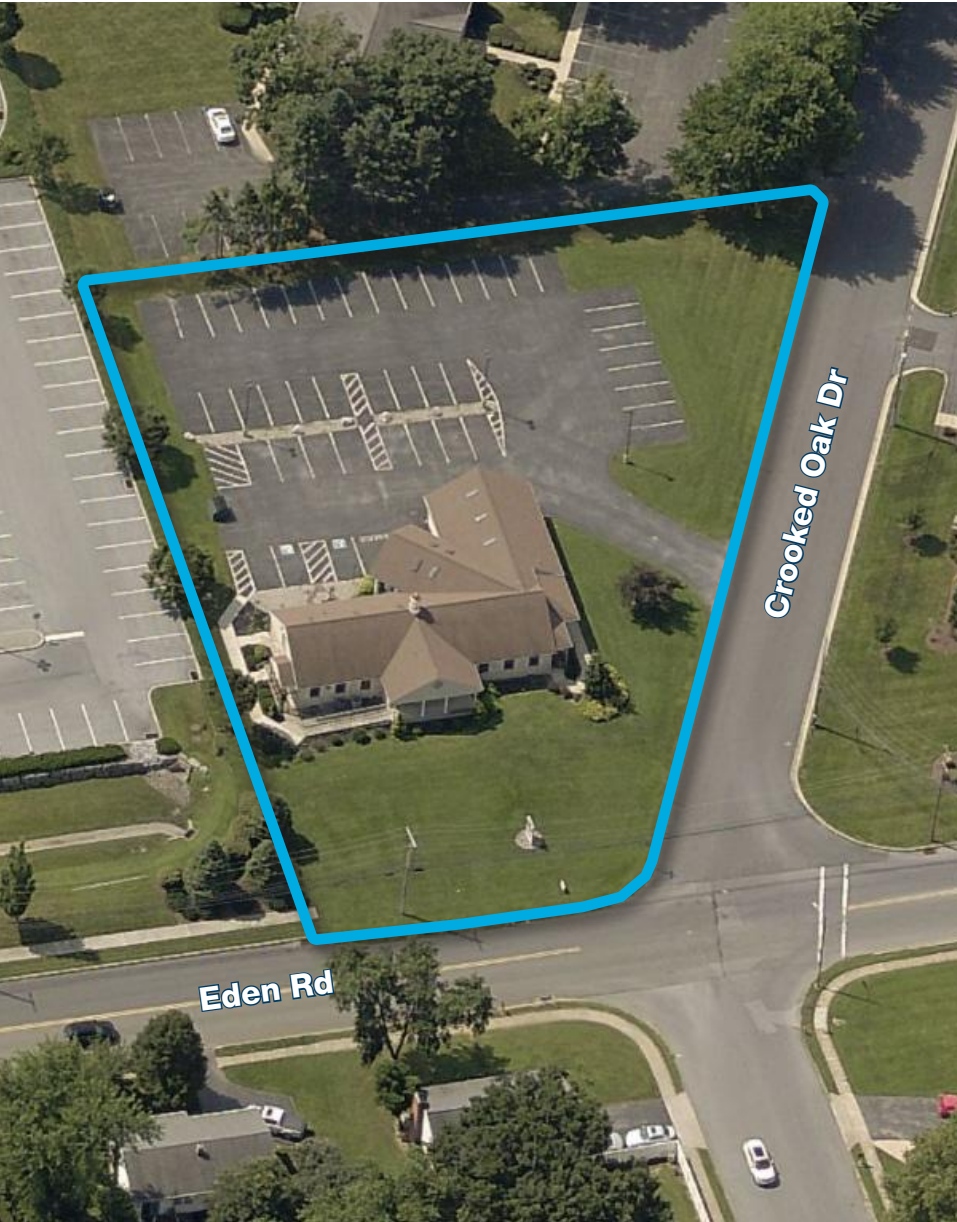
For additional information or to schedule a tour, please contact us!

**Rich Wolman, CCIM**  
Cell: (717) 471-4747  
Rich@Compass-PA.com

**Deepa Balepur, Realtor®**  
Cell: (717) 808-3531  
Deepa@Compass-PA.com

# 700 Eden Road Manheim Township

# Site Data



**Address:** 700 Eden Rd, Lancaster, PA 17601  
**Municipality:** Manheim Township, Lancaster County  
**Tax Parcel ID:** 390-68249-0-0000  
**Real Estate Taxes:** \$10,453.60 (2020-2021)  
**Lot Size:** 1.00 acres  
**Zoning:** (I-1) Industrial with (D-R) Retrofit Overlay Area  
**Access:** Crooked Oak Drive  
**Parking:** 44 spaces on site (Including 10 spaces leased to off-site tenant)  
**Water/Sewer:** Public

**Building Size:** First Floor: 4,238 SF  
Second Floor: 1,250 SF (Leased)  
Basement: 1,959 SF (Partially Finished)  
Total Building: 7,447 SF

**Year Built/Remodeled:** 1975; 2009  
**Construction Type:** Wood frame; brick exterior  
**Roof:** Composite shingle  
**HVAC:** Gas; Central Air  
**Electric:** 200 Amp

**Income:** Second floor: Leased until 2/28/2022 to Colonial Life Sales  
Rent \$850/month with 3% annual increases  
Tenant pays for in-suite electric and central air  
Parking: 10 parking spaces rented to neighboring  
business for \$450/month

**Pricing:** Sale: \$999,000  
Lease: \$17.50/SF NNN  
NNN charges estimated \$4.50-\$5.00/SF\*  
\*Does not include electric, in-suite janitorial



320 Granite Run Drive, Suite 305  
Lancaster, PA 17601  
717-431-8300 | www.Compass-PA.com

The information contained herein has been given to us by the owner of the property or other sources we deem reliable, we have no reason to doubt its accuracy, but we do not guarantee it. All information should be verified prior to purchase or lease. All financial projections are estimates only. Results not guaranteed.

# 700 Eden Road Manheim Township

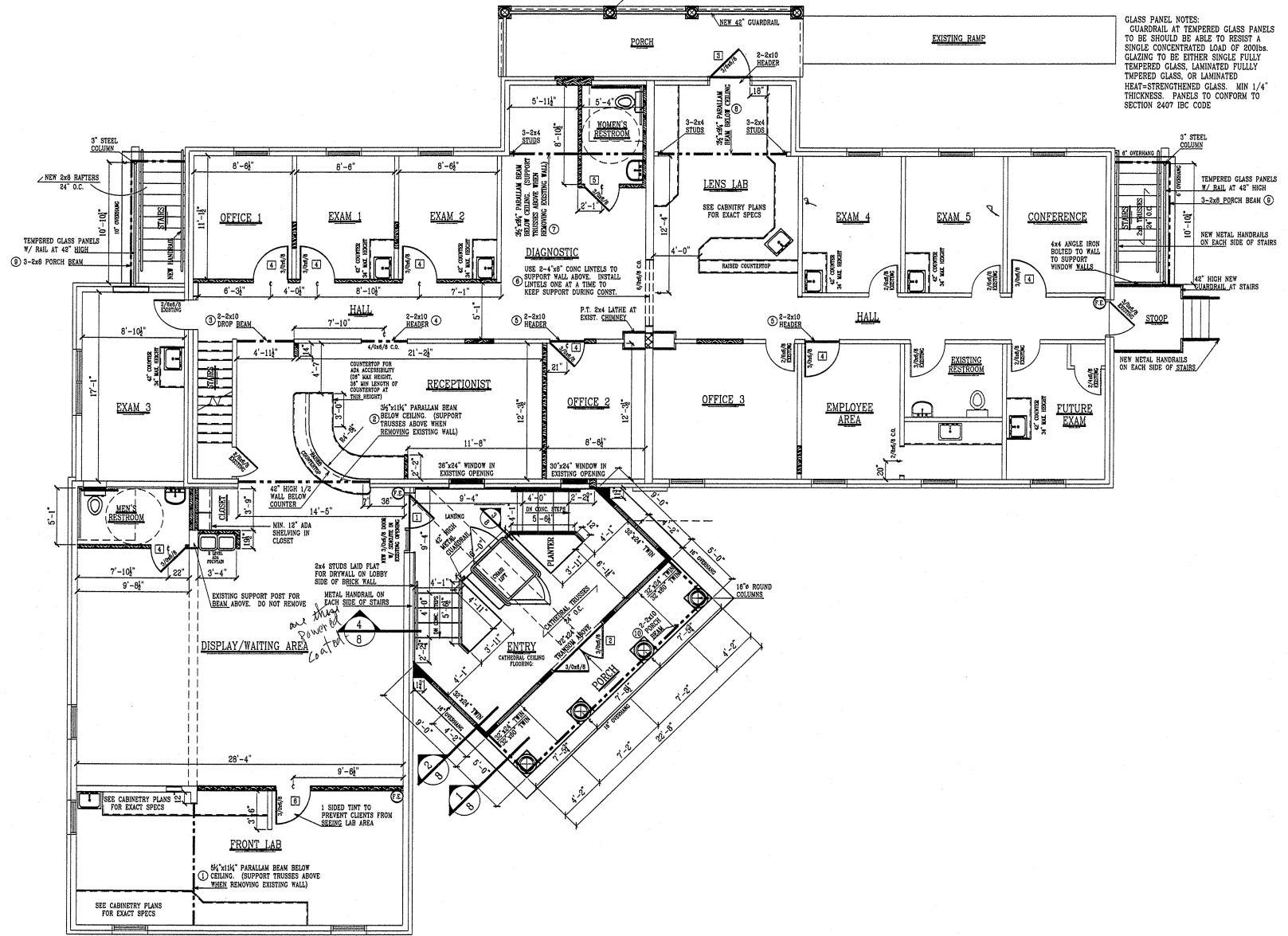
# Photos



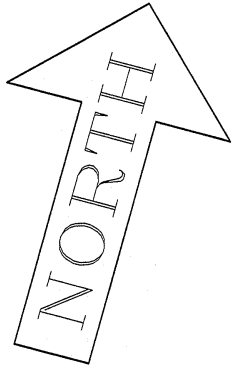
320 Granite Run Drive, Suite 305  
Lancaster, PA 17601  
717-431-8300 | [www.Compass-PA.com](http://www.Compass-PA.com)

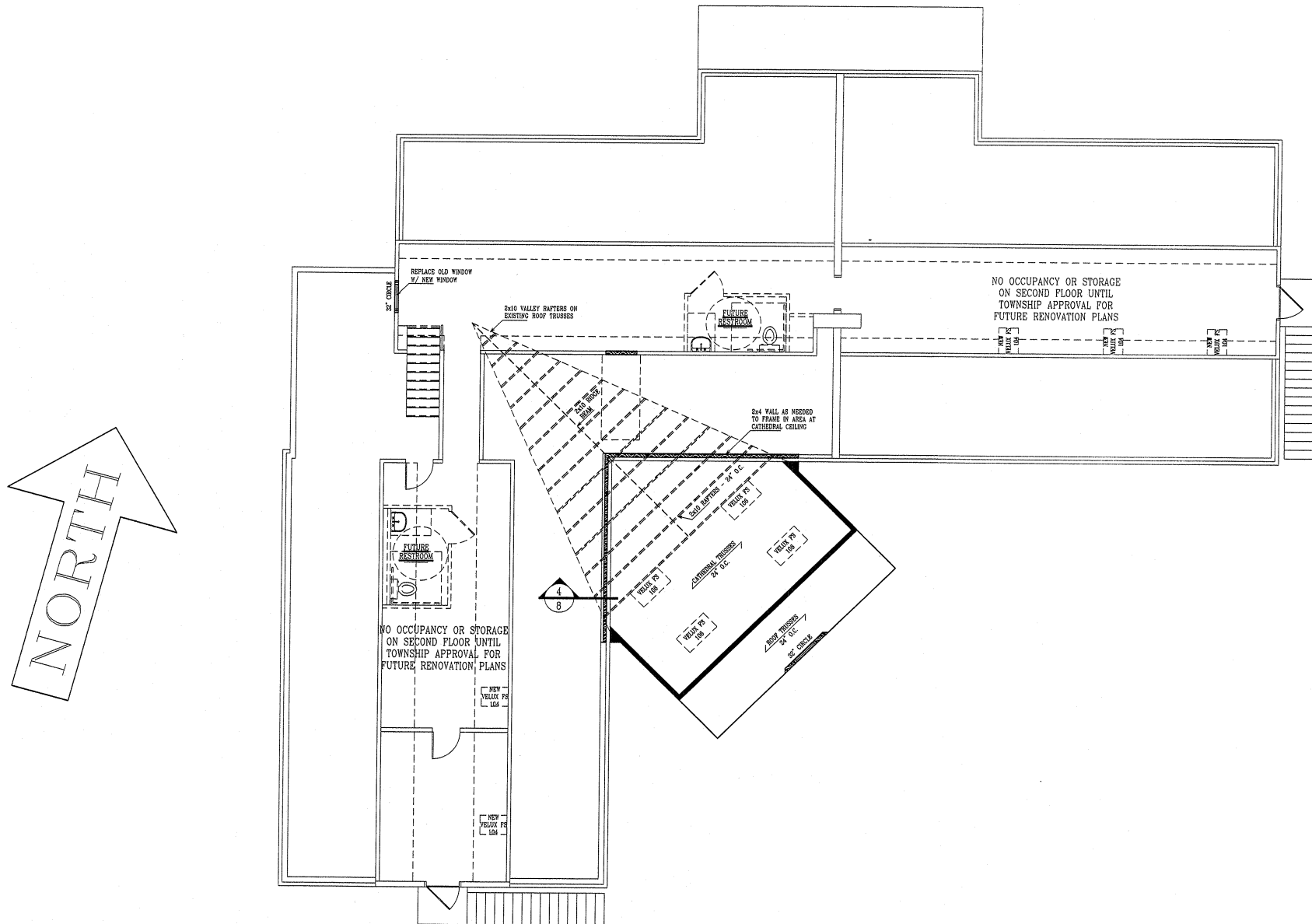
The information contained herein has been given to us by the owner of the property or other sources we deem reliable, we have no reason to doubt its accuracy, but we do not guarantee it. All information should be verified prior to purchase or lease. All financial projections are estimates only. Results not guaranteed.

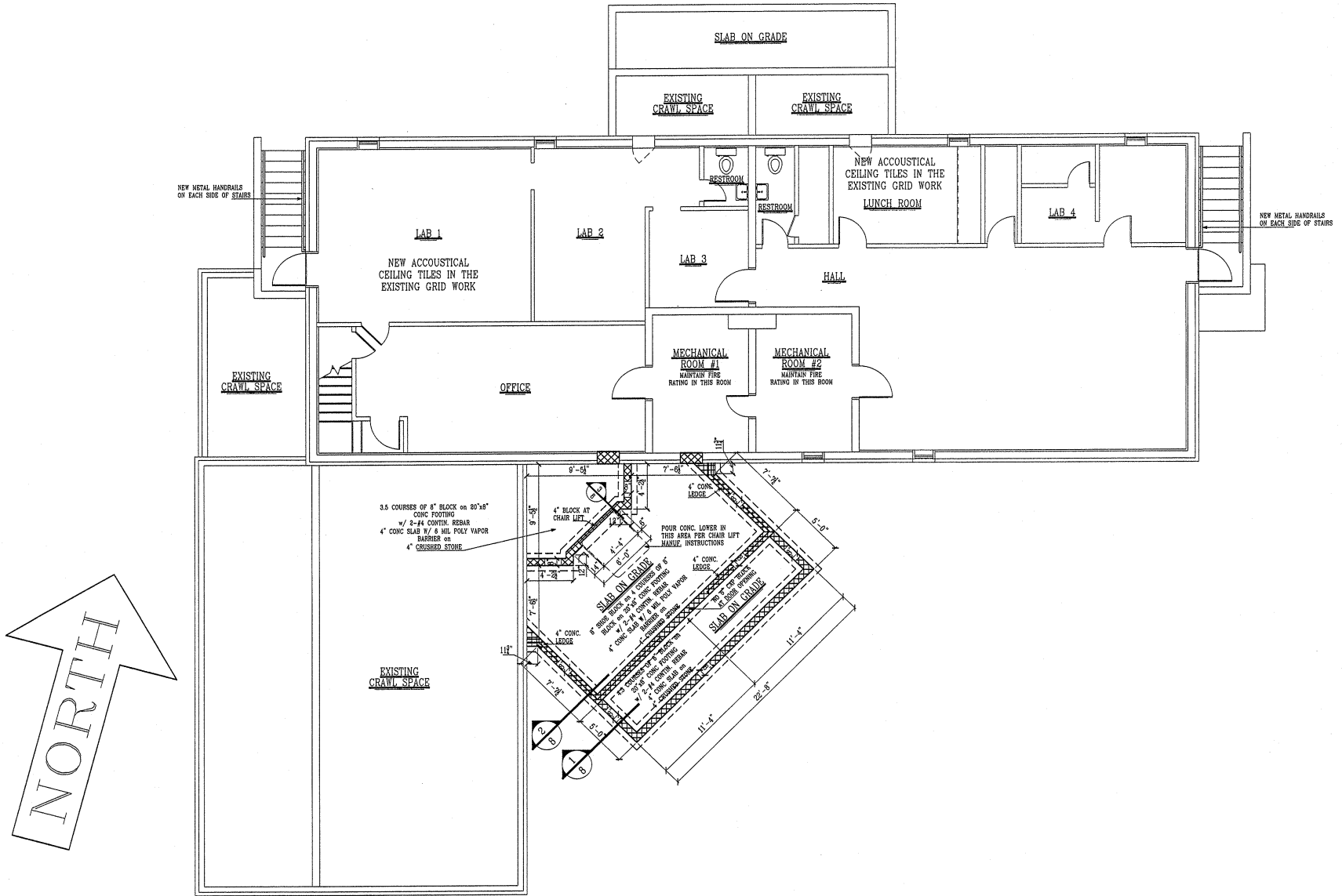




**GLASS PANEL NOTES:**  
 GUARDRAIL AT TEMPERED GLASS PANELS TO BE SHOULD BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200lbs. GLAZING TO BE EITHER SINGLE FULLY TEMPERED GLASS, LAMINATED FULLY TEMPERED GLASS, OR LAMINATED HEAT-STRENGTHENED GLASS. MIN 1/4" THICKNESS. PANELS TO CONFORM TO SECTION 2407 IBC CODE

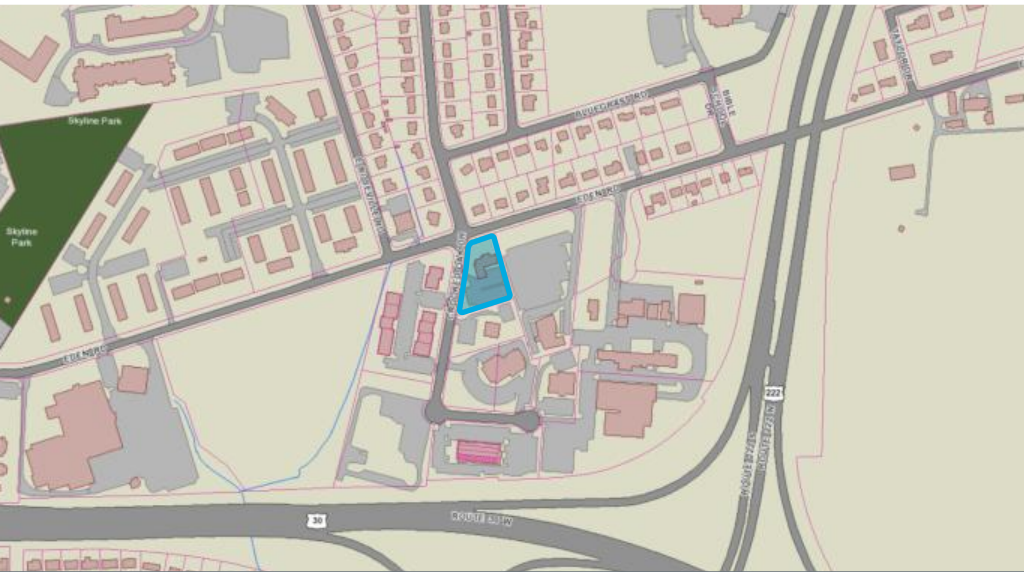






# 700 Eden Road Manheim Township

# Tax Maps



320 Granite Run Drive, Suite 305  
Lancaster, PA 17601  
717-431-8300 | www.Compass-PA.com

The information contained herein has been given to us by the owner of the property or other sources we deem reliable, we have no reason to doubt its accuracy, but we do not guarantee it. All information should be verified prior to purchase or lease. All financial projections are estimates only. Results not guaranteed.



**ARTICLE XV. INDUSTRIAL DISTRICT I-1 (Amended by Ordinance 2020-03, Dated 01/13/2020)**

**SECTION 1501. PURPOSE; INTENT**

It is the purpose of this district to provide suitable regulations for manufacturing and industrial uses and operations which are free from offensive noise, vibration, smoke, odors, glare, hazards of fire, and other objectionable and dangerous conditions in order to protect adjacent land uses. This district is also intended to provide opportunities for the integration of complimentary office, light industrial and retail development, and promote redevelopment throughout the industrial areas of the Township.

**SECTION 1502. USES BY RIGHT**

Uses by right shall be as follows:

1. Agricultural uses and necessary buildings, including farmhouses and structures related to the tilling of the land, the raising of farm products, the raising and keeping of horses, cattle, and other livestock, the raising of poultry and poultry products, and the sale of farm and/or garden products on a retail basis.
2. Offices, professional and medical/dental.
3. Industrial activities involving processing, production, repair, or testing of materials, goods, and/or products of those industries performing primarily conversion, assembly, or nontoxic chemical operations.
4. Laboratories for scientific or industrial research and development.
5. Warehousing and mini warehousing facilities.
6. Retail sales, excluding supermarkets, motor vehicle service stations or garages, motor vehicle sales buildings, body art establishments, and adult establishments.
7. Wholesale sales.
8. Banks and financial institutions.
9. Public parks and public recreation areas.
10. Commercial recreation facilities.
11. Public utility installations.
12. Educational institutions.
13. Forestry.
14. Telecommunications towers.
15. Municipal Uses.
16. Regional Stormwater Facility.
17. Accessory buildings and uses customarily incidental to the above permitted uses.

**SECTION 1503. SPECIAL EXCEPTION USES**

The following uses are permitted as a special exception when authorized by the Zoning Hearing Board. In granting any special exception, the Board may attach certain conditions to its approval which, in addition to the requirements listed within this ordinances, it feels are necessary requirements in order

to preserve and protect the character of this district.

1. Golf driving range.
2. Golf course and Country Clubs.
3. Lawn and garden care products and the outdoor sale of nursery stock.
4. Building materials sales and storage, but with no outside storage of materials.
5. Day-care center.
6. Restaurants, provided there are no drive-through facilities.
7. Hospice care facility.
8. Theater churches.
9. Accessory buildings and uses customarily incidental to the above special exception uses.

**SECTION 1504. AREA AND BULK REGULATIONS FOR PRINCIPAL BUILDINGS AND USES PERMITTED BY RIGHT**

1. Maximum building height: 45 feet, unless otherwise specified in the applicable T-Zone Overlay and Section 2208 and Section 2214 of this ordinances.
2. Minimum lot requirements:
  - A. Agricultural uses/forestry. Such uses shall comply with the requirements of Section 2503:
    - (1) Minimum lot area: 10 acres.
    - (2) Minimum lot width: none.
    - (3) Minimum lot depth: none.
    - (4) Minimum yard dimensions:
      - [a] Front yard:
        - [i] Farm dwelling: 35 feet. (See Section 2213)
        - [ii] Agribusiness structures and feedlots: 100 feet from the property lines and/or 200 feet from existing dwellings on adjacent property.
        - [iii] Other permanent structures: 75 feet.
      - [b] Side yard
        - [i] Farm dwelling, each side: 12 feet.
        - [ii] Agribusiness structures and feedlots: 100 feet from the property lines and/or 200 feet from existing dwellings on adjacent property.
        - [iii] Other permanent structures: 75 feet.
      - [c] Rear yard:
        - [i] Farm dwelling: 35 feet.
        - [ii] Agribusiness structures and feedlots: 100 feet from the property lines and/or 200 feet from existing dwellings on adjacent property.
        - [iii] Other permanent structures: 75 feet.

- [c] Rear yard:
  - [i] Farm dwelling: 35 feet.
  - [ii] Agribusiness structures and feedlots: 100 feet from the property lines and/or 200 feet from existing dwellings on adjacent property.
- (5) Minimum open area: 75%.
- (6) Sale of farm and/or garden products on a retail basis. Such activities shall comply with the requirements of Section 2503.1.
- B. Banks and financial institutions:
  - (1) Sewer and water. Both public sewer and public water service are required.
  - (2) Minimum lot area: 20,000 square feet.
  - (3) Minimum lot width:
    - [a] At street line: 100 feet.
    - [c] At front yard setback line: 100 feet.
  - (4) Minimum lot depth: 150 feet.
  - (5) Minimum yard dimensions:
    - [a] Front yard: 50 feet, unless otherwise specified in the applicable T-Zone Overlay or Section 2213.
    - [b] Side yard, each side: 25 feet; provided, however, that if the lot is adjacent to a residential district, the side yard shall be 75 feet on the side contiguous with the residential district.
    - [c] Rear yard: 25 feet; provided, however, that if the lot is adjacent to a residential district, the rear yard shall be 75 feet along the side contiguous with the residential district.
    - [d] Perimeter buffer: 20 feet.
  - (6) Minimum open area: 20%.
- C. Commercial recreation facilities:
  - (1) Sewer and water. Both public sewer and public water service are required.
  - (2) Minimum lot area: 40,000 square feet.
  - (3) Minimum lot width:
    - [a] At street line: 150 feet.
    - [b] At front yard setback line: 150 feet.
  - (4) Minimum lot depth: 150 feet.
  - (5) Minimum yard dimensions:
  - (6) Length of building. Unless specified in accordance with the applicable T-Zone Overlay, no building shall exceed 150 feet in length.
  - (7) Minimum open area: 20%.
- D. Public utility installations:

- (1) Minimum lot area: none.
- (2) Minimum lot width: none.
- (3) Minimum lot depth: none.
- (4) Minimum yard dimensions:
  - [a] Front yard: 25 feet. (See Section 2213)
  - [b] Side yard, each side: 12 feet.
  - [c] Rear yard: 12 feet.
- (5) Minimum open area: none.
- (6) Landscaping and screening. (See Section 2512 and Section 2513)
- E. Public parks and public recreation areas:
  - (1) Minimum lot area: none.
  - (2) Minimum lot width: 50 feet.
  - (3) Minimum lot depth: none.
  - (4) Minimum yard dimensions:
    - [a] Front yard: 25 feet. (See Section 2213)
    - [b] Side yard: 20 feet.
    - [c] Rear yard: 35 feet.
  - (5) Minimum open area: none.
- F. Telecommunications Tower. Such uses shall comply with the requirements of Section 2516.
- G. Other permitted uses by right:
  - (1) Sewer and water. Both public sewer and public water service are required.
  - (2) Minimum lot area: 40,000 square feet.
  - (3) Minimum lot width:
    - [a] At street line: 100 feet.
    - [b] At front yard setback line: 100 feet.
  - (4) Minimum lot depth: 150 feet.
  - (5) Minimum yard dimensions:
    - [a] Front yard: 50 feet, unless otherwise specified in accordance with the applicable T-Zone Overlay or Section 2213.
    - [b] Side yard, each side: 25 feet; provided, however, that if the lot is adjacent to a residential district, the side yard shall be 75 feet along the side contiguous with the residential district.
    - [c] Rear yard: 25 feet; provided, however, that if the lot is adjacent to a residential district, the rear yard shall be 75 feet along the side contiguous with the residential district.

- [d] Adjoining buildings or structures.
  - [i] No minimum side or rear yard shall be required on either side of the common boundary of two or more separate, adjoining lots on which two or more buildings are adjoined side by side if:
    - [a] The buildings are connected by passageways, corridors or common areas; and
    - [b] Corridors or common areas are provided by cross easements for the benefit of the owners of all such buildings or structures and their respective employees, clients and/or visitors.
  - [ii] In order to reduce the continuous appearance of the adjoining buildings or structures, each of the adjoining and connected buildings on the lots, not subject to the specified minimum side yard dimensions, shall have a visual break in the building facade at minimum distances of every 60 feet. Such visual breaks may consist of projections from the building, angles of deflection of the building's center line, or variations in the color or texture of the facade.
- [e] Perimeter buffer: 10 feet; provided, however, that for any lot adjacent to a residential district, the perimeter buffer shall be 20 feet wide on all sides contiguous with the residential district.
- (6) Minimum open area: 20%.
- (7) Length of building. Unless specified in the applicable T-Zone Overlay, no building shall exceed 150 feet in length.
- H. Retail sales. In addition to the previous applicable provisions, the following shall apply:
  - (1) Separate structures for retail use shall be limited to 5,000 square feet.
  - (2) Retail sales as part of structures shall be limited to 35% of the total floor area and shall not exceed 5,000 square feet for each retail use.

**SECTION 1505. AREA AND BULK REGULATIONS FOR PRINCIPAL BUILDINGS AND USES PERMITTED BY SPECIAL EXCEPTION**

- 1. Maximum building height: 35 feet, unless otherwise specified in the applicable T-Zone Overlay and Section 2208 and Section 2214 of this ordinances.
- 2. Minimum lot requirements:
  - A. Golf driving ranges:
    - (1) Minimum lot area: seven acres.
    - (2) Minimum lot width: 300 feet.
    - (3) Minimum lot depth: 900 feet.
    - (4) Minimum yard dimensions:
      - [a] Front yard: 50 feet. (See Section 2213)
      - [b] Side yard, each side: 25 feet; provided, however, that if the lot is adjacent to a residential district, the side yard shall be 75 feet on the side contiguous with the residential district.
      - [c] Rear yard: 25 feet; however, if the lot is adjacent to a residential district, the rear yard shall be 75 feet along the side contiguous with the residential district.
  - (5) Minimum open area: 80%.

- (6) Landscape and screening. (See Section 2512 and Section 2513)
- B. Golf courses and Country Clubs:
  - (1) Sewer and water. Both public sewer and public water service are required for Country Clubs
  - (2) Minimum lot area: 100 acres for an eighteen-hole course or 50 acres for a nine-hole course.
  - (3) Minimum lot width: 50 feet.
  - (4) Minimum lot depth: none.
  - (5) Minimum yard dimensions:
    - [a] Front yard: 35 feet. (See Section 2213)
    - [b] Side yard, each side: 50 feet.
    - [c] Rear yard: 50 feet.
  - (6) Minimum open area: 80%.
  - (7) Landscape and screening. (See Section 2512 and Section 2513)
- C. Lawn and garden products/nursery stock and building materials:
  - (1) Minimum lot area: 40,000 square feet.
  - (2) Minimum lot width: 150 feet.
  - (3) Minimum lot depth: 150 feet.
  - (4) Minimum yard dimensions:
    - [a] Front yard: 50 feet, unless otherwise specified in accordance with the applicable T-Zone Overlay or Section 2213.
    - [b] Side yard, each side: 25 feet; however, if the lot is adjacent to a residential district, the side yard shall be 75 feet on the side contiguous with the residential district.
    - [c] Rear yard: 25 feet; however, if the lot is adjacent to a residential district, the rear yard shall be 75 feet along the side contiguous with the residential district.
    - [d] Perimeter buffer: 10 feet; however, for any lot adjacent to a residential district, the perimeter buffer shall be 20 feet wide on all sides contiguous with the residential district.
  - (5) Minimum open area: 40%.
- D. Day-care centers and restaurants. Such use shall comply with the requirements of Section 2508.
  - (1) Sewer and water. Both public sewer and public water service are required.
  - (2) Minimum lot area: 20,000 square feet.
  - (3) Minimum lot width:
    - [a] At street line: 100 feet
    - [b] At front yard setback line: 100 feet.
  - (4) Minimum lot depth: 150 feet.
  - (5) Minimum yard dimensions:

- [a] Front yard: 50 feet, unless otherwise specified in the applicable T-Zone Overlay or Section 2213.
- [b] Side yard, each side: 25 feet; provided, however, that if the lot is adjacent to a residential district, the side yard shall be 50 feet on the side contiguous with the residential district.
- [c] Rear yard: 25 feet; provided, however, that if the lot is adjacent to a residential district, the rear yard shall be 75 feet along the side contiguous with the residential district.
- [d] Perimeter buffer: 20 feet.
- (6) Minimum open area: 20%.
- E. Hospice care facility:
  - (1) Sewer and water. Both public sewer and public water service are required.
  - (2) Minimum lot area: 40,000 square feet.
  - (3) Minimum lot width:
    - [a] At street line: 100 feet.
    - [b] At front yard setback line: 100 feet.
  - (4) Minimum lot depth: 150 feet.
  - (5) Minimum yard dimensions:
    - [a] Front yard: 50 feet, unless otherwise specified in the applicable T-Zone Overlay or Section 2213.
    - [b] Side yard, each side: 25 feet; provided, however, that if the lot is adjacent to a residential district, the side yard shall be 50 feet along the side contiguous with the residential district.
    - [c] Rear yard: 25 feet; provided, however, that if the lot is adjacent to a residential district, the rear yard shall be 75 feet along the side contiguous with the residential district.
    - [d] Perimeter buffer: 10 feet; provided, however, that for any lot adjacent to a residential district, the perimeter buffer shall be 20 feet wide on all sides contiguous with the residential district.
  - (6) Minimum open area: 20%.
- F. Theatre churches. Such uses shall comply with the regulations of Section 2519

**SECTION 1506. SUPPLEMENTAL REGULATIONS**

The uses in this district are also subject to applicable regulations contained in the following articles:

1. Article XVIII, Signs.
2. Article XX, Off-Street Parking and Loading.
3. Article XXI, Accessory Uses.
4. Article XXII, General Regulations.
5. Article XXIV, T-Zone Overlay Area.
6. Article XXV, Performance Standards.

**SECTION 2408. D-R RETROFIT OVERLAY AREA**

1. Permitted uses:
  - A. Uses permitted per the underlying zoning district continue to be permitted in the overlay.
  - B. Offices, professional.
  - C. Community facilities.
  - D. Office, medical and dental.
  - E. Banks and financial institutions, whether or not in combination with offices.
  - F. Full-service hotels.
  - G. Limited-service hotels.
  - H. Commercial recreation facilities.
  - I. Laboratories for research and development.
  - J. Educational institutions.
  - K. Warehousing and mini warehousing facilities.
  - L. Public parks and public recreation areas.
  - M. Public utility installations.
  - N. Veterinarian offices. (See Section 2513)
  - O. Temporary retail sales. (See Section 2517)
  - P. Holiday tree sales. (See Section 2518)
  - Q. Accessory buildings and uses customarily incidental to the above permitted uses.
2. Area and bulk regulations:
  - A. Maximum building height: Forty-five (45) feet, except that buildings shall be permitted to increase the maximum height to sixty (64) feet with the purchase of transferable development rights in accordance with Article XXVI. However, all structures are subject to Section 2208 and Section 2214 of this ordinance. Such height increase may be permitted in accordance with the following:
    - (1) No height increase shall be permitted within one hundred fifty (150) feet of residentially zoned district or within one hundred fifty (150) feet of the T-4 Urban Neighborhood Overlay, except where adjacent buildings in the T-4 Urban Neighborhood Overlay have been built to the maximum permitted height;
    - (2) The perimeter buffer area shall be increased by one (1) foot along the side and rear yards for each additional five (5) feet of height, or fraction thereof, above forty-five (45) feet;
    - (3) Any floor area above the fifth story shall be set back an additional ten (10) feet from the build-to line.
  - B. Build-to line.
    - (1) A build-to line shall be established for each development, or for each block within the development, so long as the build-to line becomes shallower with more intensely developed blocks. Such build-to line shall fall within the range of fifteen (15) feet to twenty-five (25) feet for all uses.



- (2) In the case of infill properties, the build-to line for new principal structures shall be equal to or less than the front yard setback of the principal buildings on adjacent parcels, but shall not exceed the maximum of twenty-five (25) feet, except that the setbacks listed in Section 2213 shall only apply to Fruitville Pike, Manheim Pike, Route 30, Route 222, and Oregon Pike north of Route 30.
    - (3) In the case of an existing nonconforming building that cannot meet the build-to line, a fence, hedge or wall shall be constructed along the build-to line in order to maintain the street wall.
  - C. Maximum building length. No building, other than elementary and secondary schools, shall exceed two hundred fifty (250) feet in length; provided, however, that:
    - (1) There must be a visual break in the building facade every seventy-five (75) feet. Such break shall consist of, as a minimum, a two (2) foot recess or projection projecting from the building for a linear distance of fifteen (15) feet along the façade; or at least a thirty (30) degree angle of deflection of the building's center line. Such break shall extend the entire height of the building. Color and texture variations may accompany the above facade treatments.
    - (2) The maximum length may be increased to a length of four hundred (400) feet with the purchase of transferable development rights in accordance with Article XXVI.
    - (3) Accessory buildings associated with elementary secondary schools shall have a maximum length of 250 feet.
  - D. Building Size – Unless otherwise specified, in accordance with the underlying zoning district, other than accessory buildings associated with elementary and secondary schools which shall have a maximum building footprint of 20,000 square feet.
- 3. Design requirements.
  - A. All subdivision, land development, and redevelopment within the T-Zone Overlay shall comply with the design standards in Appendix A.
  - B. All subdivision, land development and redevelopment shall be consistent with the applicable transformation concepts in Appendix B.
  - C. All subdivision, land development and redevelopment shall be consistent with the applicable design standards in Appendix C.
  - D. All subdivision, land development and redevelopment shall be consistent with the applicable best practices in Appendix D.

