

# FOR LEASE

55 DOE RUN RD, MANHEIM

Flex | Retail | Office  
± 6,000 SF & ± 18,842 SF  
Zoned Mixed Use



## PROPERTY HIGHLIGHTS

- Three building complex located on 7.2 acres with great visibility and access
- Building 1, a 1-story detached commercial (retail/office/warehouse) structure with a gross building area of 18,842 +/- SF
- Building 3, a 1-story detached commercial (warehouse) structure containing 6,000 SF
- Landlord is willing to lease “as-is”, renovate or build to suit for well qualified tenants
- Good regional location with increasing growth trends, on-site utilities and conveniently located close to area amenities

For additional information,  
please contact us

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 **COMPASS** real estate, LLC

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Office: (717) 431-8300  
www.Compass-PA.com



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# 55 Doe Run Rd Manheim

## Site Data

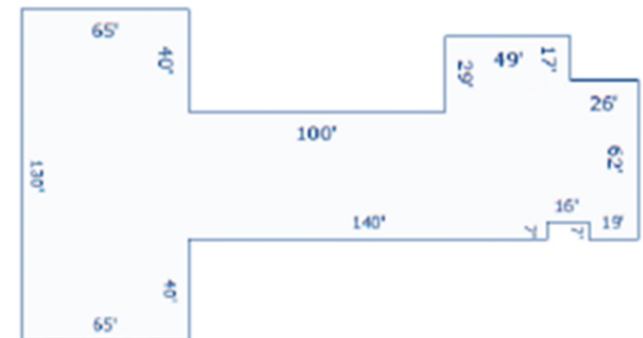


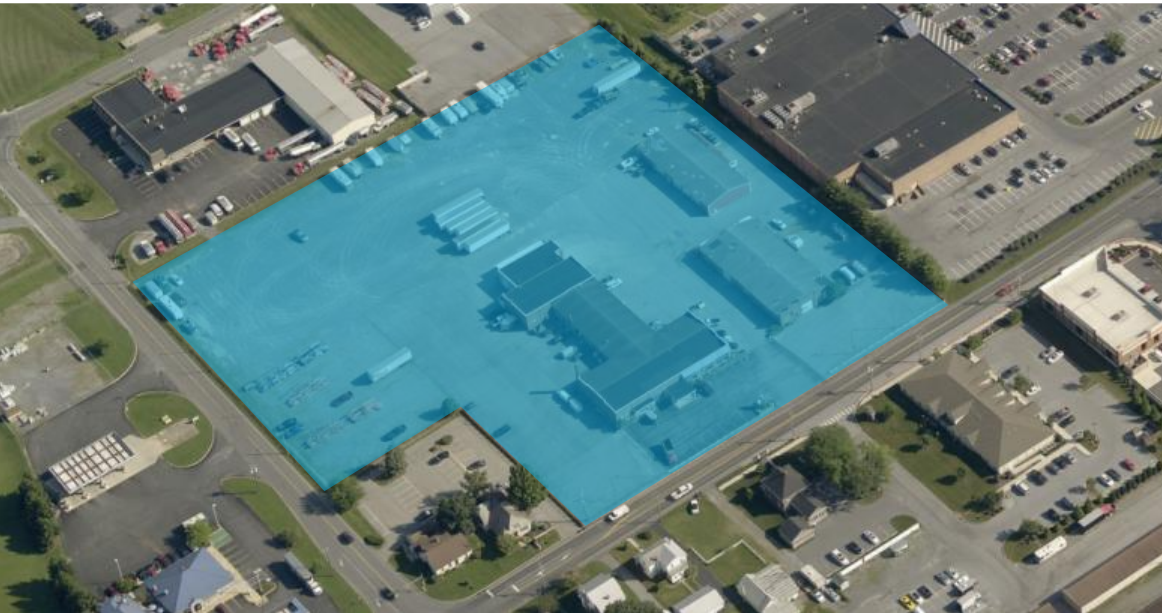
### BUILDING 1

<b>Total Leaseable Area:</b>	± 18,842 SF
<b>Year Built:</b>	1947
<b>Water/Sewer:</b>	Public
<b>Construction Type:</b>	Masonry
<b>Roof:</b>	Asphalt Shingle
<b>Loading:</b>	(9) Grade-level doors
<b>HVAC:</b>	Modine Heating Units Central Air Conditioning (Showroom)
<b>Power:</b>	3 phase 800 amp

### Lease Rates:

Vacant 1	± 4,250 SF	\$13/SF Mod. Gross + Electric
Vacant 2	± 4,200 SF	\$13/SF Mod. Gross + Electric
Vacant 3	± 3,679 SF	\$7/SF Mod. Gross + Electric
Vacant 4	± 2,812 SF	\$10.75/SF Mod. Gross + Electric
Green 13 (short term lease)	± 3,901 SF	\$9.25/SF Mod. Gross + Electric



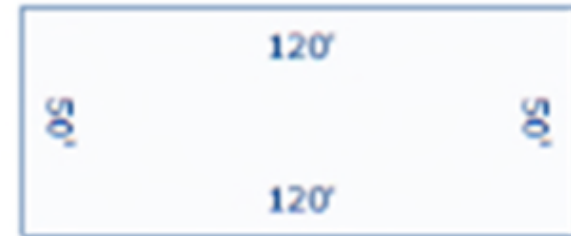


## BUILDING 3

<b>Total Leaseable Area:</b>	± 6,000 SF
<b>Year Built:</b>	1959
<b>Water/Sewer:</b>	Public
<b>Construction Type:</b>	Masonry
<b>Roof:</b>	Asphalt Shingle
<b>Loading:</b>	(5) Grade-level doors
<b>HVAC:</b>	Modine Heating Units Central Air Conditioning (Showroom)

## Lease Rate:

Vacant 1	± 6,000 SF	\$7/SF Mod. Gross + Electric
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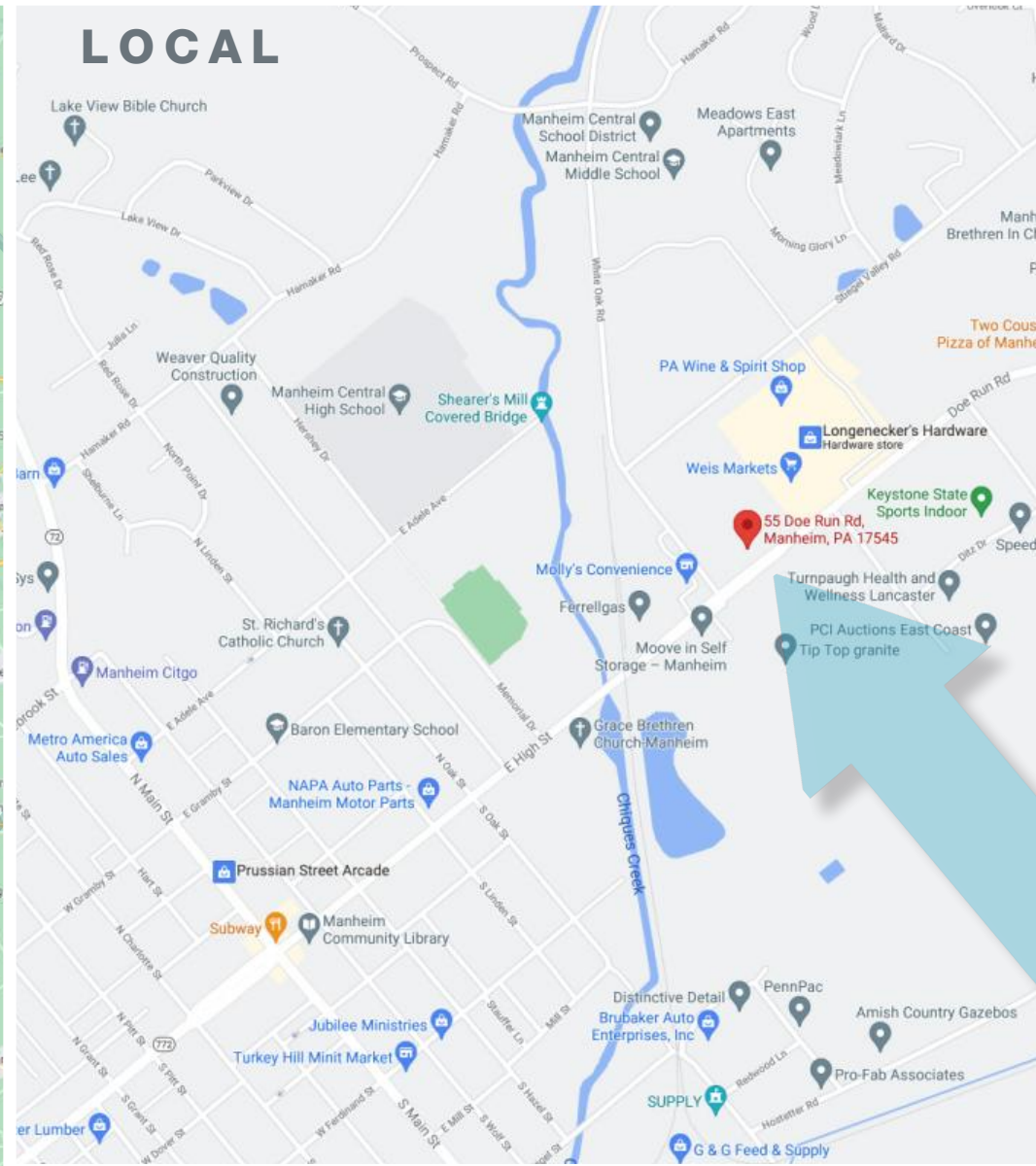
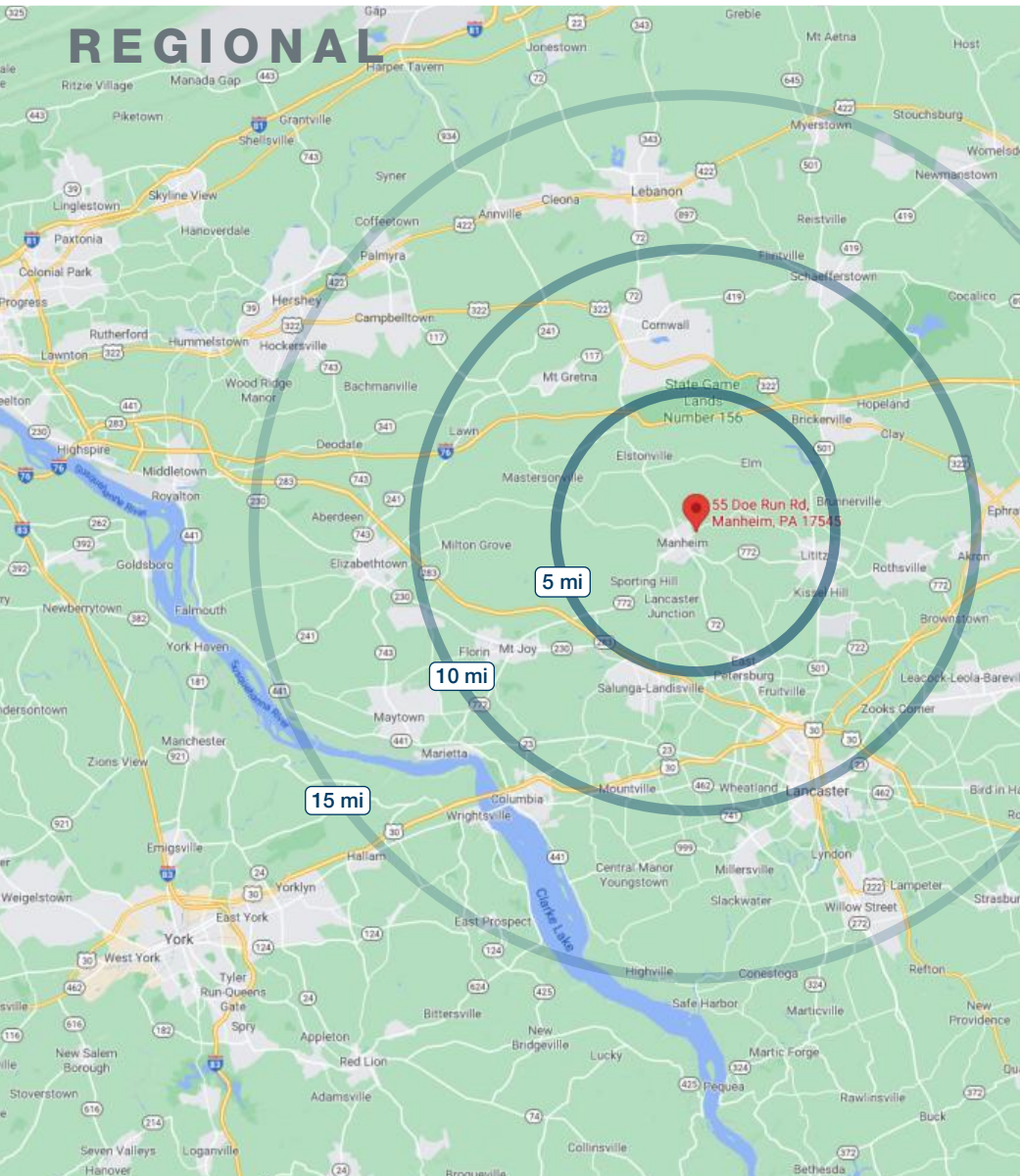


## PARKING

Extensive parking and outside storage opportunities available. See Agent for details.

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# Location



320 Granite Run Drive, Suite 305  
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Township of Penn

**Table 27-202. Use Table**

**[Ord. 2011-02, 5/9/2011, § 27-202; as amended by Ord. 2012-03, 4/9/2012, § 2; by Ord. 2012-05, 11/13/2012, § 2; by Ord. 2013-02, 7/22/2013, § 7; by Ord. 2014-03, 4/14/2014, § 6; by Ord. 2014-05, 5/12/2014, §§ 2, 3, 4; by Ord. 2015-07, 11/23/2015, § 2; by Ord. 2017-4, 10/10/2017; by Ord. No. 2019-05, 10/14/2019; and by Ord. No. 2020-02, 2/24/2020]**

The following uses are permitted in accordance with the following:

- P = Permitted
- C = Conditional Use
- SE = Special Exception
- TND = Permitted as part of a TND

<b>Uses</b>	<b>Additional Standards § 27-###</b>	<b>T-1</b>	<b>T-2</b>	<b>T-3</b>	<b>T-4</b>	<b>T-5 R</b>	<b>T-5MU</b>	<b>T-5 C</b>	<b>D-1</b>	<b>D-2</b>	<b>D-3</b>
<b>Residential Uses</b>											
Accessory dwelling unit (ADU)	§ 27-426	SE	SE	SE	SE	SE	SE	SE			
Apartment above commercial	§ 27-446				P	P	P	P			
Boardinghouse	§ 27-414					SE	SE				
Cluster development	§ 27-418				C	C					
Home occupations	§ 27-438	SE	SE	SE	SE	SE	SE	SE			
Live-work	§ 27-425				TND	TND	P	TND			
Manor house	§ 27-425					P	P	P			
Mobile home park	§ 27-447			C							
Multifamily	§ 27-425					C	P	P			
Multifamily mixed-use development	§ 27-475							P			
Recreational residence	—	P									

Uses	Additional Standards § 27-###	T-1	T-2	T-3	T-4	T-5 R	T-5MU	T-5 C	D-1	D-2	D-3
Single-family attached/townhouse <sup>1, 2</sup>	§ 27-425					P <sup>1</sup>	P	TND			
Single-family detached (<5) <sup>1, 2</sup>		P	P	P	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>				
Single-family semidetached <sup>1, 2</sup>	§ 27-425					P <sup>1</sup>	P	TND			
Temp farm employee housing	§ 27-462		SE								
TND	§ 27-463				C	C	C	C			
Two-family conversions	§ 27-465				SE	SE					
<b>Commercial Uses</b>											
Adaptive reuse	§ 27-404		C	C	C	C	C	C	C	C	C
Adult-related	§ 27-402							C	C		C
Agriculture		P	P	P	P	P	P	P	P	P	P
Agritourism enterprises	§ 27-474	P	P								
Airport	§ 27-403		C								
Amusement arcades	§ 27-405						SE	SE			
Anaerobic digester, accessory	§ 27-406		P								
Anaerobic digester, principal	§ 27-406		SE								
Auto auction	§ 27-407								C		
Auto/car wash	§ 27-416							SE	C		
Auto court	§ 27-408							C			
Auto filling station	§ 27-409					TND	SE	SE	C		
Auto repair, recon, repair	§ 27-411						SE	SE	SE		
Auto sales	§ 27-411						C	C	C		
Auto storage compound	§ 27-410								C		
Banks and finance institutions					SE	TND	P	P	P		
Bed-and-breakfast	§ 27-412		SE		SE	TND	TND				
Billboards	§ 27-413							SE			
Campgrounds	§ 27-415	C									

<b>Uses</b>	<b>Additional Standards § 27-###</b>	<b>T-1</b>	<b>T-2</b>	<b>T-3</b>	<b>T-4</b>	<b>T-5 R</b>	<b>T-5MU</b>	<b>T-5 C</b>	<b>D-1</b>	<b>D-2</b>	<b>D-3</b>
Clubhouse	§ 27-417	SE	SE				SE	SE			
Commercial livestock operations	§ 27-419		P								
Commercial recreation	§ 27-420				SE	TND	SE	SE			
Communications antennas	§ 27-421	SE	SE			SE	SE	SE	SE		SE
Concentrated animal feeding operations	§ 27-419		SE								
Continuing care retirement community (CCRC)	§ 27-444					SE					
Drive-through facilities	§ 27-423					TND	P	P			P
Dry cleaning	§ 27-424				SE	TND	C	P			
Farm occupation	§ 27-427		SE								
Farmers market	§ 27-430		P		P	TND	SE	P			
Farm-related businesses	§ 27-429		C							P	
Forestry	§ 27-431	P	P	P	P	P	P	P	P	P	P
Funeral home	§ 27-432					TND	SE	P			
Geothermal, accessory	§ 27-302	P	P	P	P	P	P	P	P	P	P
Golf course	§ 27-433	C	C								
Health and fitness clubs	§ 27-434				SE	TND	P	P			
Hotel/motel							P	P			
Kennels, breeding	§ 27-442		SE								
Kennels, boarding	§ 27-442		SE				C	SE			
Laboratories							SE	P			P
Large-scale feed or grain mill	§ 27-428		C								P
Long-term care facility	§ 27-451					SE					
Manure storage, accessory	§ 27-443		P								
Medical/dental services					SE	TND	P	P	C		
Miniwarehouses	§ 27-445				SE			SE			

<b>Uses</b>	<b>Additional Standards § 27-###</b>	<b>T-1</b>	<b>T-2</b>	<b>T-3</b>	<b>T-4</b>	<b>T-5 R</b>	<b>T-5MU</b>	<b>T-5 C</b>	<b>D-1</b>	<b>D-2</b>	<b>D-3</b>
Model homes/development sales office	§ 27-448			P	P	P	P	P			
Mushroom composting	§ 27-459		C								C
Nightclubs/taverns	§ 27-449						TND	SE			
Office					SE	TND	P	P	C		P
Outdoor wood-fired boiler, accessory	§ 27-302	P	P								
Other lawful use (not otherwise specified)	§ 27-450							C			
Parking structure	Part 8					TND	TND		P		
Retail sales/services (<100,000 SF)					SE	TND	P	P	P		
Retail sales/service (100,000 SF+)	§ 27-454						C	C	C		
Restaurant					SE	TND	P	P	P		
Restaurants, fast-food	§ 27-423						SE	P	P		
Roadside stands	§ 27-302		P		SE						
School support facilities	§ 27-473				P	P	P	P			
Shopping centers/planned business center	§ 27-457						P	P	P		
Solar energy systems, accessory	§ 27-458	P	P	P	P	P	P	P	P	P	P
Solar energy systems, principal	§ 27-458		C						C	C	C
Stable, accessory	§ 27-460	SE	SE	SE							
Stable, commercial	§ 27-460		SE								
Stockyards/feedlots	§ 27-461		C								P
Tattoo/body piercing	§ 27-470							SE			
Theater, auditorium							P	P			
Transferable development rights, severance	§ 27-325	P	P								
Vet offices w/kennel	§ 27-472							SE	C		P
Vet offices w/o kennel	§ 27-472						SE	P	C		P



Uses	Additional Standards § 27-###	T-1	T-2	T-3	T-4	T-5 R	T-5MU	T-5 C	D-1	D-2	D-3
Wholesale sales and service	§ 27-454						C	C	C		P
Wind energy systems, accessory	§ 27-469	P	P	P	P	P	P	P	P	P	P
Wind energy systems, principal	§ 27-469		C							C	C
<b>Industrial Uses</b>											
Bookbinding/printing							SE	SE			P
Contractor shops							SE	P			P
Engine repair							SE				P
Heavy equipment sales/service	§ 27-435							SE	SE		P
Heavy industrial	§ 27-436								SE		P
Junkyard	§ 27-441										C
Machine shop								SE	SE		P
Manufacturing							SE	SE	SE		P
Processing							SE	SE			P
Quarry	§ 27-452									C	
Recycling collection facilities						SE	SE	P			
Recycling facilities	§ 27-453							SE	SE		C
Repair shop							SE	SE			P
Septage/solid waste disposal	§ 27-456									C	
Sign makers							SE	P			P
Truck or motor freight terminals	§ 27-464								SE		P
Warehousing and wholesale trade establishments	§ 27-466						SE	SE	SE		P
Welders							SE	SE			P
Wholesale produce/tobacco	§ 27-467		C				SE	SE	SE		P
<b>Institutional Uses</b>											
Community facility						C	C	C			

<b>Uses</b>	<b>Additional Standards § 27-###</b>	<b>T-1</b>	<b>T-2</b>	<b>T-3</b>	<b>T-4</b>	<b>T-5 R</b>	<b>T-5MU</b>	<b>T-5 C</b>	<b>D-1</b>	<b>D-2</b>	<b>D-3</b>
Community or cultural center					TND	TND	TND	TND			
Day-care center	§ 27-422				SE	SE	SE	P			
Family day care	§ 27-422		SE	SE	SE	SE	SE				
Hospital	§ 27-439						C				
House of worship	§ 27-440		SE		SE	SE	P	P	C		
Municipal services		P	P	P	P	P	P	P	P	P	P
Nursery/elementary school	§ 27-455	SE	SE	SE	SE	P	P	SE			
Park		P	P	P	P	P	P	P	P	P	P
Secondary school	§ 27-455					P	P	SE			
Transitional housing	§ 27-471						SE	SE			
Vocational school	§ 27-455					P	P	SE			

**NOTES:**

- <sup>1</sup> Any use proposing more than five dwelling units within the T-4 or T5 Districts shall develop under one of the following options, as permitted in each district: Cluster Development, CCRC, or Traditional Neighborhood Development.
- <sup>2</sup> Any existing residential use, regardless of zoning district, is permitted to be replaced by right when destroyed by a “force majeure event.”

